

Monday, January 24,

22

The Bainbridge Township Board of Trustees met in regular session at the Bainbridge Town Hall on January 24, 2022. Those present were Trustees Mr. Jeffrey Markley, Mrs. Kristina O'Brien, and Dr. Michael Bates, and Fiscal Officer Mrs. Janice Sugarman. Mrs. O'Brien presided and called the meeting to order at 6:12 P.M.

#### EXECUTIVE SESSION

Mr. Markley made a motion to recess the regular meeting and go into executive session for the Employment of Public Employees per Ohio Revised Code Section 121.22(G)(1).

Dr. Bates seconded the motion. Vote followed: Mrs. O'Brien, aye; Mr. Markley, aye; Dr. Bates, aye. Motion carried.

The trustees recessed their meeting at 6:13 P.M. in order to go into executive session.

Chief Bokovitz and Tyler Butler entered executive session at 6:15 P.M. and Tyler Butler left at 6:30 P.M.

Nick Adams entered executive session at 6:31 P.M. and he and Chief Bokovitz left at 6:48 P.M.

Chief Metz and Kristen Grachanin entered executive session at 6:48 P.M. and left at 6:59 P.M.

The trustees returned from executive session, after considering the employment and compensation of public employees, and reconvened their regular meeting at 7:03 P.M. and everyone stood and recited the Pledge of Allegiance.

#### CHANGES TO THE AGENDA

1. Move up to top of agenda: Employment of Public Police and Fire Employees
2. Move Meijer Preliminary Plan Review up to Presentations
3. Table K9 Compensation until next agenda
4. Move Police and Fire department head reports to February 28

#### MINUTES APPROVAL

Mr. Markley moved to approve the minutes of the trustees' January 10, 2022 regular meeting as written.

Dr. Bates seconded the motion. Vote: Mr. Markley, aye; Mrs. O'Brien, aye; Dr. Bates, aye. Motion carried.

#### PRESENTATION

##### POLICE DEPARTMENT – NEW BUSINESS

##### Employment of Public Employees

Mr. Markley made a motion to hire Nick Adams as a full-time Bainbridge Township Peace Officer/Constable starting as a Grade B Patrol Officer with an annual salary of \$72,733.34 effective January 25, 2022 per the recommendation of the police chief.

Dr. Bates seconded the motion that passed unanimously.

Mr. Markley made a motion to hire Tyler Butler as a full-time Bainbridge Township Peace Officer/Constable starting as a Grade C Patrolman with an annual salary of \$68,364.08 effective January 25, 2022 per the recommendation of the police chief.

Dr. Bates seconded the motion that passed unanimously.

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FIRE DEPARTMENT – NEW BUSINESSEmployment of Public Employees

Mr. Markley made a motion to hire Kristen Grachanin as a full-time Bainbridge Township Firefighter/Paramedic starting as a Firefighter B with a starting salary of \$72,733.34 effective February 12, 2022 with a one-year probationary period and \$1,000.00 clothing allowance per the recommendation of the fire chief.

Dr. Bates seconded the motion that passed unanimously.

SWEARING-IN OF NEW EMPLOYEES

Kristen Grachanin was sworn in as a Full-time Firefighter/Paramedic of the Bainbridge Township Fire Department by Fiscal Officer Janice Sugarman.

Nick Adams and Tyler Butler were sworn in as Peace Officers/Constables of the Bainbridge Township Police Department by Fiscal Officer Janice Sugarman.

PRESENTATION

Meijer Preliminary Plan Review: Chris Jones, Meijer Real Estate  
Brian Smallwood, Woolpert  
Jeff Martin and Chris Salata, ICP

Mr. Smallwood and Mr. Jones presented to the trustees the preliminary site plan for their review.

Mr. Markley made a motion to approve the Preliminary Development Plan for Meijer with the condition that the comments/suggestions in the January 24, 2022 memo from the zoning staff and Mr. Markley's notes be addressed, and also have the plan sets signed by all parties – Bainbridge Township, ICP, and Meijer.

Dr. Bates seconded the motion that passed unanimously.

\*The notes, memo, and plans are attached to and become a permanent part of these minutes.

DEPARTMENTAL REPORTSZONING DEPARTMENT

Mrs. Karen Endres presented the zoning department report for the month of December, 2021. The zoning department took in receipts of \$1,350.00 in December with three new housing starts and 17 total permits issued. The complete zoning report is attached to and becomes a permanent part of these minutes.

PUBLIC COMMENTS

Mr. Max Yost of Rolling Brook Drive asked about ditching and drainage for Meijer. Mr. Markley explained how the drainage worked without ditches.

FIRE DEPARTMENT – NEW BUSINESSGrade Change Request - McClintock

Mr. Markley made a motion to approve the grade change request for Paul McClintock to a Firefighter B with an annual salary of \$72,733.34 effective the pay period beginning January 29, 2022 per the recommendation of the fire chief.

Dr. Bates seconded the motion that was passed unanimously.

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Training Request – Riley

Mr. Markley made a motion to approve the training request for Lt. James Riley to attend the National OHPELRA Conference in Lewis Center, OH from February 6-8, 2022 at an estimated cost of \$859.00 with the use of a township vehicle per the recommendation of the fire chief and as specified in the training request.

Dr. Bates seconded the motion that passed unanimously.

Training Request – Burge

This request will be tabled until the next meeting.

Training Request – Stanczyk

Mr. Markley made a motion to approve the training request for Jeff Stanczyk to attend the Command & Control of Incident Operations in Emmitsburg, MD from February 6-11, 2022 at an estimated cost of \$841.53 per the recommendation of the fire chief and as specified in the training request.

Dr. Bates seconded the motion that passed unanimously.

Training Request – Cole, McClintock

Mr. Markley made a motion to approve the training requests for Brandon Cole and Paul McClintock to attend the Command & Control of Incident Operations in Emmitsburg, MD from February 6-11, 2022 at an estimated cost of \$480.00 each per the recommendation of the fire chief and as specified in the training request.

Dr. Bates seconded the motion that passed unanimously.

POLICE DEPARTMENT – NEW BUSINESSAlarm Monitoring Agreement

Mr. Markley made a motion to approve the Alarm Monitoring Agreement with Protegis Fire & Safety, which has been reviewed by legal counsel and excluding item #12, and further authorize the fiscal officer to sign the agreement per the recommendation of the police chief.

Dr. Bates seconded the motion that passed unanimously.

Memorandum of Understanding

This request will be tabled until the next meeting.

SERVICE DEPARTMENT – NEW BUSINESSAnnual Township Highway Mileage Certification

Mr. Markley made a motion to certify in writing to the Director of the Ohio Department of Transportation that Bainbridge Township is responsible for maintaining 84.538 miles of public roads as of December 31, 2021.

Dr. Bates seconded the motion that passed unanimously.

Cemetery Deed

Mr. Markley made a motion to grant cemetery deed #627 for four graves in the amount of \$3,000.00 to Greg Randall of 8358 Lucerne Drive, Chagrin Falls, OH 44023.

Dr. Bates seconded the motion that was passed unanimously.

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The trustees signed a Deed for Restland Cemetery, Section 13E, Lot No. 109, Graves 2, 3, 4, and 5. Mr. Dave Pfouts and Mr. Max Yost attested to their signatures.

TOWN HALL – NEW BUSINESS422/306 Interchange Study

This request will be tabled until the next meeting.

FISCAL OFFICE - NEW BUSINESSPURCHASE ORDER APPROVALS

Mr. Markley made a motion to approve the purchase orders listed below as submitted by the Fiscal Officer.

Dr. Bates seconded the motion that passed unanimously.

Purchase Order Request List

1. Ohio Bureau of Workers' Compensation – Payroll True-up 2022 -\$9,301.00 (All)
2. Target Solutions Learning, LLC – Renewal - \$2,801.82 (Fire)
3. VanCuren Services – Remove Trees on Samuel Lord - \$4,500.00 (Roads)
4. Davey Resource Group – Smith Creek Project - \$5,653.75 (General)

INVOICE APPROVALS

Mr. Markley made a motion to approve the invoice listed below as submitted by the Fiscal Officer.

Dr. Bates seconded the motion. Vote: Mr. Markley, aye; Mrs. O'Brien, abstain; Dr. Bates, aye. Motion carried.

Invoice List

1. Taft – Economic Development - \$562.50 (General)

Checks Dated January 11, 2022 through January 24, 2022

The trustees examined and signed checks and invoices January 11, 2022 through January 24, 2022 consisting of warrants #38429 through #38513 the amount of \$196,558.55.

NOTE: A register of said checks is attached to and becomes a permanent part of these minutes.

CORRESPONDENCE

1. WRLC – Annual Stewardship Report for Centerville Mills and Edwards conservation easements
2. NOPEC NEC Grant Award: \$29,799.00 for 2022

PUBLIC INTERACTION

Mr. Max Yost wanted everyone to know that his PAC will be hosting a roundtable event on February 10, 2022 from 7 – 8 pm at the West Geauga Library. Newly elected officials Michael Bates, Matt Rambo, and Chris Bell will be participating.

LATE ADDITIONS

None.



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Since there was no further business to come before this regular meeting of the Bainbridge Township Board of Trustees, the meeting was adjourned at 9:12 P.M.

Respectfully Submitted,

Janice S. Sugarman,  
Fiscal Officer, Bainbridge Township

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\_\_\_\_\_

Date

\_\_\_\_\_

\_\_\_\_\_

Date

\_\_\_\_\_

\_\_\_\_\_

Date

Minutes Read: \_\_\_\_\_

Minutes Approved: \_\_\_\_\_

# Bainbridge Township Monthly Permit Report

12/01/2021 - 12/31/2021

Permit Date	Bainbridge Permit Number	Permit Type	Description	Applicant Name	Total Fees	Parcel #	Parcel Address	Zoning	Subdivision
12/20/2021	17151	Accessory Residential Building	40' x 32' accessory building	Joyce Taylor	\$100.00	02-364002	9125 Taylor May Road	R-5-A	
12/6/2021	17174	Accessory Residential Building	10' x 16' shed	Pam McClain	\$100.00	02-141000	8383 Treetower Drive	R-3-A	Twilea Park
12/17/2021	17089	Conditional Use Permit	Renewal of existing CUP for Church	Federated Church/ Melissa Owen	\$300.00	02-729314	16349 Chillicothe Road	R-5-A	
12/16/2021	17102	Conditional Use Permit	CUP renewal for Church and Day Care Center	Lord of Life Lutheran Church	\$300.00	02-716100	17989 Chillicothe Road	R-3-A	
12/16/2021	17088	Conditional Use Permit	Renewal of existing CUP	422 Company, Ltd.	\$300.00	02-094700	8200 Washington Street	C-B	
12/14/2021	17176	Fence	4' metal fence with self closing / latching gates	Don Simpson	\$50.00	02-419622	7737 Chagrin Road	R-5-A	
12/30/2021	17182	Fence	Split rail & board on board fencing/driveway gate	Auburn Fence/Don Simpson	\$50.00	02-093900	7168 Chagrin Road	R-3-A	
12/16/2021	17180	New One Fam. Dwelling	New house with attached garage, drive, & uncovered patio	Payne & Payne/Darrell Hershey	\$500.00	03-019118	8175 Knolls Way	L.I.R	Chagrin Knolls Condo 2 B

12/14/2021	17175	New One Fam. Dwelling	New house with attached garage, drive & deck	Payne & Payne/Darrell Hershey	0.00	02-421418	8034 Canyon Ridge	R-5-A	Canyon Lakes Colony
12/23/2021	17178	New One Fam. Dwelling	New house with attached garage, drive, walk & porches	Joyce Building Co./Bill Joyce	\$500.00	02-419531	17320 Corban Drive	R-5-A	Country Estates of Geauga
12/14/2021	17177	Patio	12' x 34' patio & 4' sidewalk	Otero Signature Homes/John Capitoni	\$150.00	02-421399	8138 Canyon Ridge	R-3-A	Canyon Lake Colony
12/9/2021	17175	Patio	40' x 20' Patio	Heidi O'Neill	\$50.00	02-152500	8674 Tanglewood Trail	R-3-A	Tanglewood Reserve
12/7/2021	17155	Wall Sign	Wall Sign - 123.1 sq. ft "Bullseye"/West Side (bldg.)	Jeffrey Immel, Kimley-Horn	\$200.00	02-420981	18855 North Market Drive	MUP	The Shops at Marketplace
12/7/2021	17154	Wall Sign	Wall Sign - 85.3 sq. ft. "Bullseye" / East Side (bldg.)	Jeffrey Immel, Kimley-Horn	\$200.00	02-420981	18855 North Market Drive	MUP	The Shops at Marketplace
12/7/2021	17153	Wall Sign	Wall Sign - 85.3 sq. ft "Bullseye" / South Side (Bldg.)	Jeffrey Immel, Kimley-Horn	\$200.00	02-420981	18855 North Market Drive	MUP	The Shops at Marketplace
12/7/2021	17152	Wall Sign	Wall Sign - 57.8 sq. ft. "drive up"	Jeffrey Immel, Kimley-Horn	\$200.00	02-420981	18855 North Market Drive	MUP	The Shops at Marketplace
12/7/2021	17156	Window Sign	Window Sign - 10.2 sq. ft. "order pickup"	Jeffrey Immel, Kimley-Horn	\$100.00	02-420981	18855 North Market Drive	MUP	The Shops at Marketplace

**BAINBRIDGE TOWNSHIP NEW RESIDENCE  
TOTALS – DECEMBER 2021  
Receipts for December 2021 – \$1,350.00**

**December – 2021 – 3  
December – 2020 – 3  
December – 2019 – 3**

**Year to Date 2021 – 30  
Year to Date 2020 – 25  
Year to Date 2019 – 24**

**BAINBRIDGE TOWNSHIP ZONING PERMIT  
TOTALS – December 2021**

**December 2021 – 17  
December 2020 – 14  
December 2019 – 15**

**Year to Date 2021 – 303  
Year to Date 2020 – 227  
Year to Date 2019 – 248**

ZONING INSPECTOR'S OFFICE – 2021 UPDATE


During 2021 the Zoning Inspector's Office processed 303 permits, up 76 from 2020 and 29 BZA cases as outlined below:

New residences were 30, up 5 from last year.

New Residences - 30  
Residential Additions – 25  
Residential Accessory Buildings – 32  
Residential Alterations - 6  
Patios – 27  
Collocations – 9  
Commercial Alterations - 12  
Driveways – 12  
Other – 3  
CUP - 6  
Wall Signs – 18  
Window Signs – 1  
Ground Signs - 8  
Decks – 16  
Fences – 37  
Commercial Use – 19  
In-ground Swimming Pools – 5  
Above-ground Swimming Pools – 4  
Commercial Accessory Fence – 5  
Exemptions – 11  
Fire Pits – 1  
Temporary Buildings – 3  
Res. Misc. – 3  
Revision to Approved Permit – 2  
Subdivision Signs – 1  
Home Occupations – 1  
New Construction Commercial – 3  
Outdoor Spa – 1  
Temporary Structure/Use – 2  
  
Variances – 22  
Substitutions of a Non-conforming Use - 1  
Conditional Uses – 6

Zoning Receipts for 2021 = \$58,494.00

Respectfully submitted,

  
Karen Endres  
Zoning Inspector

KE:lz

**Payment Listing**

UAN v2022.2

1/11/2022 to 1/24/2022

Payment Advice #	Post Date	Transaction Date	Type	Vendor / Payee	Amount	Status
38429	01/18/2022	01/18/2022	AW	ALADTEC, INC.	\$3,659.00	O
38430	01/18/2022	01/18/2022	AW	Alfred E. Grzegorek, Ph.D., Inc.	\$3,600.00	O
38431	01/18/2022	01/18/2022	AW	Amazon Capital Services	\$125.63	O
38432	01/18/2022	01/18/2022	AW	AMERICAN FIREWORKS COMPANY	\$3,375.00	O
38433	01/18/2022	01/18/2022	AW	ARIS COMPANY	\$165.70	O
38434	01/18/2022	01/18/2022	AW	AUBURN PIPE & PLUMBERS SUPPLY	\$2,729.60	O
38435	01/18/2022	01/18/2022	AW	CCT FINANCIAL	\$168.00	O
38436	01/18/2022	01/18/2022	AW	Cenweld Corporation	\$22,254.00	O
38437	01/18/2022	01/18/2022	AW	CERNI MOTOR SALES, INC.	\$64.23	O
38438	01/18/2022	01/18/2022	AW	CHAGRIN VALLEY AUTO PARTS-NAPA	\$403.66	O
38439	01/18/2022	01/18/2022	AW	CHAGRIN VALLEY/SOLON TIMES	\$42.19	O
38440	01/18/2022	01/18/2022	AW	CINTAS CENTRALIZED AR	\$301.70	O
38441	01/18/2022	01/18/2022	AW	CINTAS CENTRALIZED AR	\$78.75	O
38442	01/18/2022	01/18/2022	AW	CLEARWATER OPERATIONS AND MAINTENANCE	\$1,000.00	O
38443	01/18/2022	01/18/2022	AW	COVENANT REFORMED PRESBYTERIAN CHURCH	\$200.00	O
38444	01/18/2022	01/18/2022	AW	E & H Hardware Group, LLC	\$274.22	O
38445	01/18/2022	01/18/2022	AW	E J USA INC.	\$273.29	O
38446	01/18/2022	01/18/2022	AW	Educated Pressure Washing LLC	\$967.00	O
38447	01/18/2022	01/18/2022	AW	Fall & Stebbins Automotive	\$275.00	O
38448	01/18/2022	01/18/2022	AW	Geauga Public Health	\$376.00	O
38449	01/18/2022	01/18/2022	AW	Junction Auto Sales, Inc.	\$82,000.00	O
38450	01/18/2022	01/18/2022	AW	LITTLER MENDELSON, P.C.	\$5,675.00	O
38451	01/18/2022	01/18/2022	AW	M.A.T. CLEANING SERVICE	\$3,315.32	O
38452	01/18/2022	01/18/2022	AW	MCMASTER CARR SUPPLY COMPANY	\$321.69	O
38453	01/18/2022	01/18/2022	AW	MERITECH	\$281.71	O
38454	01/18/2022	01/18/2022	AW	National PELRA	\$215.00	O
38455	01/18/2022	01/18/2022	AW	NEWS HERALD	\$123.05	O
38456	01/18/2022	01/18/2022	AW	OHIO CEMETERY ASSOCIATION, INC.	\$95.00	O
38457	01/18/2022	01/18/2022	AW	OHIO FIRE & EMERGENCY SERVICE FOUNDATION	\$25.00	O
38458	01/18/2022	01/18/2022	AW	Ohio Parks and Recreation Association	\$325.00	O
38459	01/18/2022	01/18/2022	AW	PETE & PETE CONTAINER SERVICE, INC.	\$510.00	O
38460	01/18/2022	01/18/2022	AW	Solon Ace Hardware	\$63.96	O
38461	01/18/2022	01/18/2022	AW	SUNRISE SPRINGS WATER CO.	\$45.85	O
38462	01/18/2022	01/18/2022	AW	Terracon Consultants Inc.	\$5,800.00	O
38463	01/18/2022	01/18/2022	AW	TIM LALLY CHEVROLET, INC.	\$87.81	O
38464	01/18/2022	01/18/2022	AW	TIME WARNER CABLE	\$1,200.00	O
38465	01/18/2022	01/18/2022	AW	Turney's Home & Auto Center	\$499.90	O
38466	01/18/2022	01/18/2022	AW	UNIQUE PAVING MATERIALS CORP.	\$644.00	O
38467	01/18/2022	01/18/2022	AW	W.W. WILLIAMS	\$5,310.27	O
38468	01/18/2022	01/18/2022	AW	Watch Guard	\$1,650.00	O
38469	01/18/2022	01/18/2022	AW	WINTER EQUIPMENT COMPANY, INC.	\$3,931.59	O
38470	01/18/2022	01/18/2022	AW	Wright Heating and Air Conditioning, Inc.	\$562.00	O
38471	01/18/2022	01/18/2022	AW	CHAGRIN RIVER WATERSHED PARTNERS	\$807.88	O
38472	01/24/2022	01/24/2022	AW	ACTIVE PLUMBING SUPPLY CO.	\$16.66	O
38473	01/24/2022	01/24/2022	AW	Amazon Capital Services	\$604.18	O
38474	01/24/2022	01/24/2022	AW	AUBURN PIPE & PLUMBERS SUPPLY	\$192.20	O



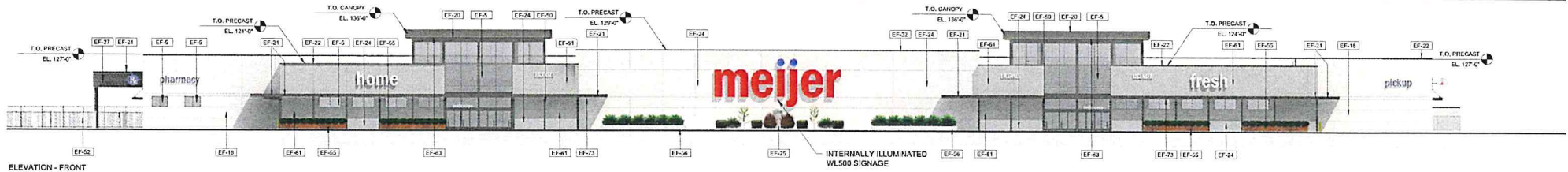
**Payment Listing**

UAN v2022.2

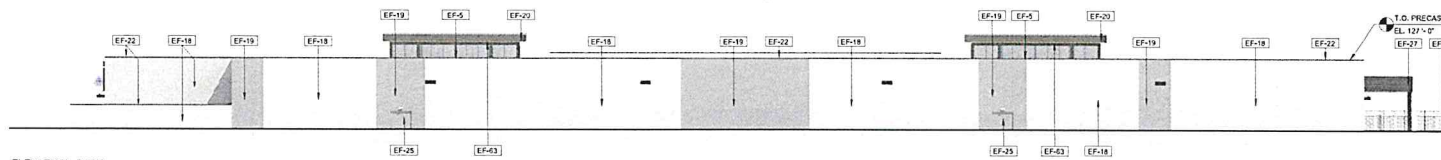
1/11/2022 to 1/24/2022

Payment Advice #	Post Date	Transaction Date	Type	Vendor / Payee	Amount	Status
38475	01/24/2022	01/24/2022	AW	CABLE COMMUNICATIONS, INC.	\$611.46	O
38476	01/24/2022	01/24/2022	AW	Capitol Building Supply	\$1,414.00	O
38477	01/24/2022	01/24/2022	AW	CCT FINANCIAL	\$163.00	O
38478	01/24/2022	01/24/2022	AW	Center for Education & Employment Law	\$159.00	O
38479	01/24/2022	01/24/2022	AW	Chagrin Auto Spa	\$285.00	O
38480	01/24/2022	01/24/2022	AW	CHAGRIN VALLEY AUTO PARTS-NAPA	\$9.00	O
38481	01/24/2022	01/24/2022	AW	Charter Communications	\$95.98	O
38482	01/24/2022	01/24/2022	AW	CINTAS CENTRALIZED AR	\$25.00	O
38483	01/24/2022	01/24/2022	AW	CLE Masonry	\$7,300.00	O
38484	01/24/2022	01/24/2022	AW	Cummins	\$241.03	O
38485	01/24/2022	01/24/2022	AW	Cynthia Holub	\$210.00	O
38486	01/24/2022	01/24/2022	AW	Davey Resource Group, Inc.	\$7,433.50	O
38487	01/24/2022	01/24/2022	AW	E & H Hardware Group, LLC	\$106.63	O
38488	01/24/2022	01/24/2022	AW	FP MAILING SOLUTIONS	\$86.85	O
38489	01/24/2022	01/24/2022	AW	GEAUGA COUNTY POLICE CHIEFS ASSOC	\$100.00	O
38490	01/24/2022	01/24/2022	AW	GEAUGA DOOR SALE & SERVICE, INC.	\$2,375.00	O
38491	01/24/2022	01/24/2022	AW	GEAUGA GROWTH PARTNERSHIP, INC.	\$375.00	O
38492	01/24/2022	01/24/2022	AW	HIGHWAY GARAGE, INC.	\$89.41	O
38493	01/24/2022	01/24/2022	AW	International Association of Chiefs of Police	\$190.00	O
38494	01/24/2022	01/24/2022	AW	Joseph Godec	\$199.00	O
38495	01/24/2022	01/24/2022	AW	JOSEPH TOMAYKO	\$75.00	O
38496	01/24/2022	01/24/2022	AW	Junction Buick GMC	\$110.01	O
38497	01/24/2022	01/24/2022	AW	LIFE FORCE MANAGEMENT INC.	\$2,119.40	O
38498	01/24/2022	01/24/2022	AW	Linde Gas & Equipment, Inc.	\$319.01	O
38499	01/24/2022	01/24/2022	AW	Lynda Zadeskey	\$350.00	O
38500	01/24/2022	01/24/2022	AW	MERITECH	\$10.33	O
38501	01/24/2022	01/24/2022	AW	Monroe Plumbing Inc.	\$75.00	O
38502	01/24/2022	01/24/2022	AW	OHPERLRA	\$798.00	O
38503	01/24/2022	01/24/2022	AW	ROBERT WEIR	\$76.86	O
38504	01/24/2022	01/24/2022	AW	SHERWIN-WILLIAMS	\$44.09	O
38505	01/24/2022	01/24/2022	AW	SiteOne Landscape Supply	\$45.53	O
38506	01/24/2022	01/24/2022	AW	Solon Ace Hardware	\$44.12	O
38507	01/24/2022	01/24/2022	AW	STAPLES BUSINESS ADVANTAGE	\$76.36	O
38508	01/24/2022	01/24/2022	AW	SUNRISE SPRINGS WATER CO.	\$116.30	O
38509	01/24/2022	01/24/2022	AW	TIME WARNER CABLE	\$1,200.00	O
38510	01/24/2022	01/24/2022	AW	TNT Exterminating	\$200.00	O
38511	01/24/2022	01/24/2022	AW	ULLMAN OIL, INC.	\$12,719.55	O
38512	01/24/2022	01/24/2022	AW	UNITED STATES POSTAL SERVICE	\$2,000.00	O
38513	01/24/2022	01/24/2022	AW	WASTE MANAGEMENT OF OHIO	\$74.09	O
Total Payments:					\$196,558.55	
Total Conversion Vouchers:					\$0.00	
Total Less Conversion Vouchers:					\$196,558.55	

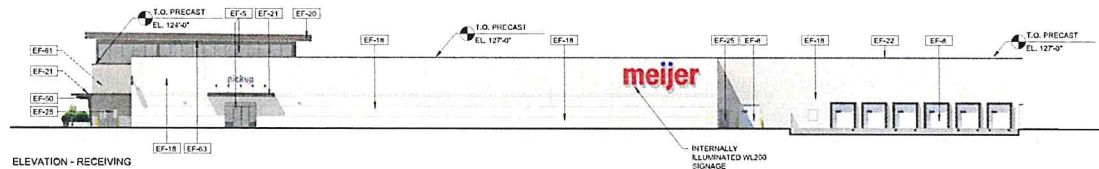
Type: AM - Accounting Manual Warrant, AW - Accounting Warrant, IM - Investment Manual Warrant, IW - Investment Warrant, PM - Payroll Manual Warrant, PR - Payroll Warrant, RW - Reduction of Receipt Warrant, SW - Skipped Warrant, WH - Withholding Warrant, WM - Withholding Manual, WS - Special Warrant, CH - Electronic Payment Advice, IL - Investment Loss, EP - Payroll EFT Voucher,



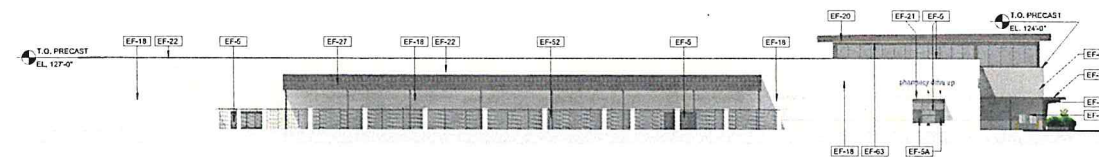
ELEVATION - FRONT



ELEVATION - BACK



ELEVATION - RECEIVING



ELEVATION - GARDEN CENTER

CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY 5568	-	DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED SPANDREL PANEL WITH CRYSTAL GRAY 5568 AND WARM GRAY SPANDREL PANEL	-	WARM GRAY
EF-4	SECTIONAL OVERHEAD DOORS	-	WHITE
EF-18	INSULATED PRECAST CONCRETE WALL - SMOOTH FACE FINISH	SHERWIN WILLIAMS	SW 7014 EIDER WHITE
EF-19	INSULATED PRECAST CONCRETE WALL - SMOOTH FACE FINISH	SHERWIN WILLIAMS	SW 7018 DOVETAIL GRAY
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-24	EP'S FORMLINER 4410	AP	SW 7014 EIDER WHITE
EF-25	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7018 DOVETAIL GRAY
EF-27	METAL PANELS	PAC-CLAD	DARK BRONZE
EF-50	STEEL SUPPORT	-	DARK BRONZE STEEL BEAM
EF-62	DECORATIVE METAL FENCING	-	-
EF-65	PLANTER	CORTEN	CORTEN STEEL
EF-66	CONCRETE PLANTER	-	CAST IN PLACE CONCRETE PLANTER
EF-61	CONCRETE FORMLINER 2182 COLORADO	RECKLI	SW 7018 DOVETAIL GRAY
EF-63	VENTED SOFFIT PANEL - ENDURE R00900+ METAL WOOD LOOK SYSTEM	HULCH	WHITE OAK
EF-73	VENTED SOFFIT PANEL	BERRIDGE	SIERRA TAN



BAINBRIDGE TWP., OHIO

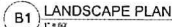
7300 N. AURORA RD (S.R. 43)  
GEAUGA COUNTY, OH 44202

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF PMS VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE INTENT IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.

**B BERGMANN**  
ARCHITECTS ENGINEERS PLANNERS

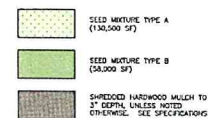
01/05/2022





1. COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDINGS. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER UTILITIES AND WITHIN SIGHT LINES TO ALL MEJOR BUILDING SECTIONS.
2. THE CENTER OF LARGE PLANTS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL GRASSES ARE SLOPED FOR POSITIVE DRAINAGE.
3. ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE A MINIMUM TOPSOIL UNLESS NOTED OTHERWISE.
4. SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN. THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREAS SHALL BE SEEDING BY THE LANDSCAPE MANAGER PRIOR TO ANY SEEDING. ANY AREAS DISCLOSED BY THE CONTRACTOR WHICH ARE BEYOND THE SCOPE OF SEEDING SHALL BE SEEDING SHALL BE SEEDING AT AN ADDITIONAL COST TO THE OWNER.

5. TOPSOIL SHALL BE TESTED AND ADJUSTED AS NECESSARY DURING FINAL DRAINAGE AND PREPARATION FOR SEEDING.
6. APPLY STARTER FERTILIZER (16-32-4) AT 200 POUNDS/ACRE TO SEEDBED AREA.
7. ALL LANDSCAPE TRUCKS SHALL BE 3" DEEP UNWEEDED AND WASHED FREE OF SEEDS BEFORE PLACING MULCH OVER WEED BARRIER FABRIC AND TREAT WITH PRE-EMERGENT HERBICIDE.
8. BENCH (4 TOTAL) IN SEATING AREA TO BE VICTOR STANLEY MODEL FRN-26, SIX FOOT LENGTH, POWDER COATED BLACK, SURFACE MOUNT.



**D5 LANDSCAPING LEGEND**

[illegible]

MEIJER STORE GGL AT GEauga LAKE DISTRICT  
7300 N. AURORA ROAD (S.R. 43)  
BAINBRIDGE TOWNSHIP, GEauga COUNTY, OHIO 44202

LANDSCAPE PLAN  
PRELIMINARY PLANS

ISSUED FOR:	
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CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER

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82248

C600



CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT  
 OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR  
 USED FACILITIES OR WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND HIGHWAYS SHALL BE  
 THOROUGHLY CLEANED AND/OR EXCEPT OF ALL DEBRIS FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY.  
 RE-STORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING  
 JURISDICTION.

PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MCDOT STANDARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.

ELECTRONIC FILES IN DWG FORMAT WILL BE SUPPLIED TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.

**ELECTRONIC FILE USE TERMS AND CONDITIONS:**

1. RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF INEXACTITUDES, ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM. RECIPIENT FURTHER ACKNOWLEDGES THAT THE DATA MAY BE SUBJECT TO THE SAME LIMITATIONS AS THE ORIGINAL DATA.

2. ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MELOER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUCH HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE

3. THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES.

UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEIJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEIJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL

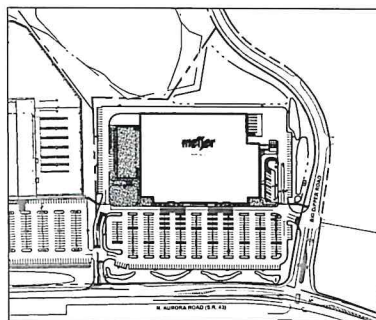
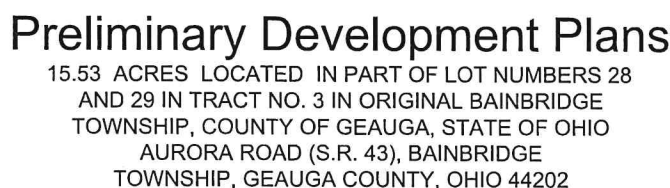
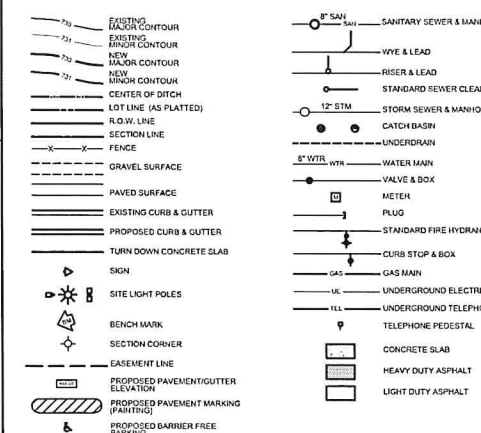
EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY HICKS RBT INC. IN LUTHERING, IN DAYTON, OHIO.

EXISTING LOT 30.00 AC IS BASED ON AN AUSTRIAN FIELD SURVEY PERFORMED BY WOODGETT INC. SURVEYING, IN DAYTON, OHIO, ON 7TH SEPTEMBER, 2021.

SON. HOBBING LOGS TO BE PREPARED BY ALC AT A LATER DATE. RAYMENT EVALUATION REPORT TO BE PREPARED AT A LATER

---



**B2 OVERALL SITE PLAN**

SITE ADDRESS: \_\_\_\_\_

## ZONING

**ZONING**  
BAINBRIDGE TOWNSHIP  
KAREN ENDRES  
17826 CHILLICOTHE ROAD  
CHAGRIN FALLS, OH 44023  
440-543-9871

UTILITIES  
CITY OF AURORA SEWER AND WATER  
DEPARTMENT  
HARRY STARK

158 WEST PIONEER TRAIL  
AURORA, OH 44202  
330-995-9109  
STARKH@AURORA.OH.COM

DISTRICT  
14269 CLARIDON TROY ROAD  
BURTON, OH 44021  
440-834-1122  
CSHALE@GEAUGASWCD.COM

**BUILDING PERMITS**  
CEAUGA COUNTY BUILDING DEPARTMENT  
470 CENTER STREET, BUILDING B-C  
CHARDON, OH 44024  
440-279-1780

**FIRE**  
BAINBRIDGE TOWNSHIP FIRE DEPARTMENT  
17822 CHILLICOTHE ROAD  
CHAGRIN FALLS, OHIO 44023  
440-543-9873

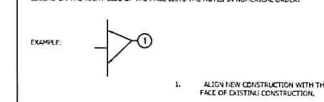
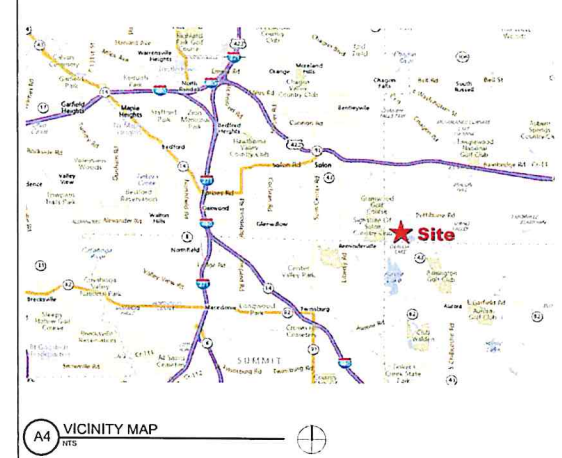
440-343-9879

11

INCLUDED	CURRENT REV #	CURRENT DATE	SHEET #	SHEET NAME
●		01/05/22	C001	COVER SHEET
●		01/05/22	C100	EXISTING CONDITIONS
●		01/05/22	C200	SITE LAYOUT / PAVEMENT PLAN
●		01/05/22	C201	SITE LAYOUT / PAVEMENT PLAN ENLARGEMENTS & DETAILS
●		01/05/22	C300	SITE GRADING / DRAINAGE PLAN
●		01/05/22	C301	SITE GRADING / DRAINAGE PLAN ENLARGEMENTS
●		01/05/22	C302	EROSION CONTROL PLAN
●		01/05/22	C303	EROSION CONTROL DETAILS
●		01/05/22	C400	UTILITY PLAN
●		01/05/22	C401	UTILITY PLAN ENLARGEMENTS
●		01/05/22	C500	STRIPING / SIGNAGE PLAN
●		01/05/22	C501	MAN STREET EXTERIOR SIGNAGE PLAN AND DETAILS
●		01/05/22	C501A	CONCRETE STORE EXTERIOR DRAINAGE PLAN AND DETAILS
●		01/05/22	C502	EXTERIOR SIGNAGE PLAN STREET VIEWS
●		01/05/22	C600	LANDSCAPE PLAN
●		01/05/22	C601	LANDSCAPE DETAILS
●		01/05/22	C602	LANDSCAPE DETAILS
●		01/05/22	C603	LANDSCAPE DETAILS
●		01/05/22	C604	LANDSCAPE DETAILS
●		01/05/22	C700	DETAILS
●		01/05/22	C701	DETAILS
●		01/05/22	C702	DETAILS
●		01/05/22	C703	CONCRETE PAVING DETAILS
●		01/05/22	C704	IRRIGATION DETAILS
●		01/05/22	C800	ELECTRICAL PLAN
●		01/05/22	C801	PHOTOMETRIC PLAN
●		01/05/22	C900	ARCHITECTURAL BUILDING ELEVATIONS

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SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A CIRCLE, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.

[illegible]

**WOOLPERT**  
IMPORTS • EXPORTS • DISTRIBUTION

4454 Idea Center Blvd  
Dayton, OH  
45430-1500  
937.461.5660  
FAX: 937.461.0743

**meijer**  
329 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544

[illegible]

MEIJER STORE GGL AT GEAUGA LAKE DISTRICT  
AURORA ROAD (S.R. 43)  
MAINBRIDGE TOWNSHIP, GEAUGA COUNTY, OHIO 44202

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER

JCB NO.  
82248

C001

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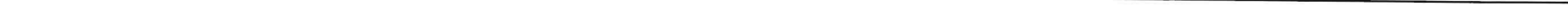












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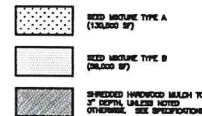
C501

16501

0001



1. COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS. PLANTS SHALL BE PLACED IN AREAS WHERE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER OR WITHIN SHORT LINES TO ALL MECHANICAL BUILDINGS.
2. THE CENTER OF LARGE BRANCHES IS TO BE SIX INCHES FROM THE CURB. ALL SMALLER ALL BRANCHES ARE SLOPED FOR POSITIVE DRAINAGE.
3. ALL AREAS THAT REQUIRE SIGNIFICANT SLOPE RECEIVE A MINIMUM OF 1% SLOPE NOTED ON THE GRADING PLAN.
4. SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN, THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREAS. SEED SHALL BE SELECTED BY THE LANDSCAPE MANAGER PRIOR TO ANY SETTING. ANY AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESEED WITHIN THE LIMITS OF GRADING AND EROSION CONTROL SHALL BE SELECTED AT NO ADDITIONAL COST TO THE OWNER.
5. TOPSOIL SHALL BE TESTED AND ANALYZED AS REQUIRED TO MEET DRAIN FLOW GRADING AND PREPARATION FOR PLANTING.
6. APPLY STRAYER FERTILIZER (18-23-21) AT 250 POUNDS PER ACRE TO SEED AREAS.
7. SEED AREAS GRASSED WITH A DEEP ROOTED PERENNIAL HARDOOD MIXTURE EXCEPT THE MOUNTAIN. PLACE MULCH OVER THE SEED. FERTILIZE AND TREAT WITH PRE-EMERGENT HERBICIDE.
8. BENCH (4" MIN.) IN SEATTLE AREA TO BE VECTOR TO THE CURB. 10" MIN. IN THE SLOPE. 12" MIN. IN THE SLOPE. 4" MIN. BENCH. SURFACE MOUNT.



**DE LANDSCAPING LEGEND**

DS

**meijer**  
2929 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544

[illegible]

MEIJER STORE GGL AT GEAUGA LAKE DISTRICT  
AURORA ROAD (S.R. 43)  
BAINBRIDGE TOWNSHIP, GEAUGA COUNTY, OHIO 44202

## LANDSCAPE PLAN

## PRELIMINARY DEVELOPMENT PLANS

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CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER

JOB NO.  
82248

# C600



LAWN AREA SEED MIXTURE (TYPE A)			
COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	95%	85%
TALL FESCUE	70%	95%	85%
PERENNIAL RYE GRASS	10%	95%	85%

APPLICATION RATE: 8 LBS./1000 FT<sup>2</sup>

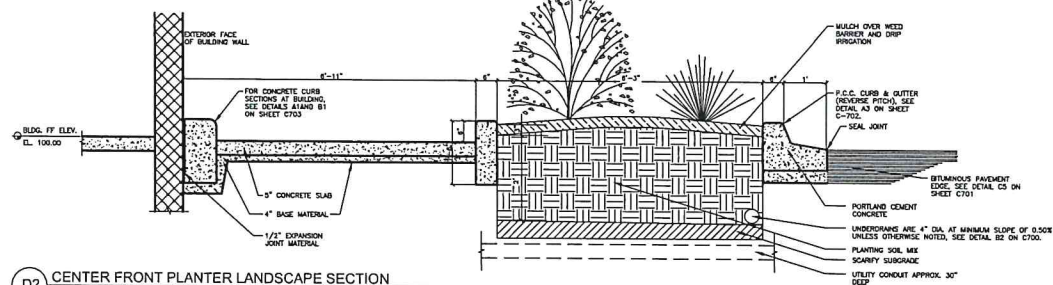
NON-LAWN AREA (TYPE B)			
COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	30%	95%	85%
KENTUCKY 31 FESCUE	40%	95%	85%
PERENNIAL RYE GRASS	30%	95%	85%

APPLICATION RATE: 5 LBS/1000 FT<sup>2</sup>

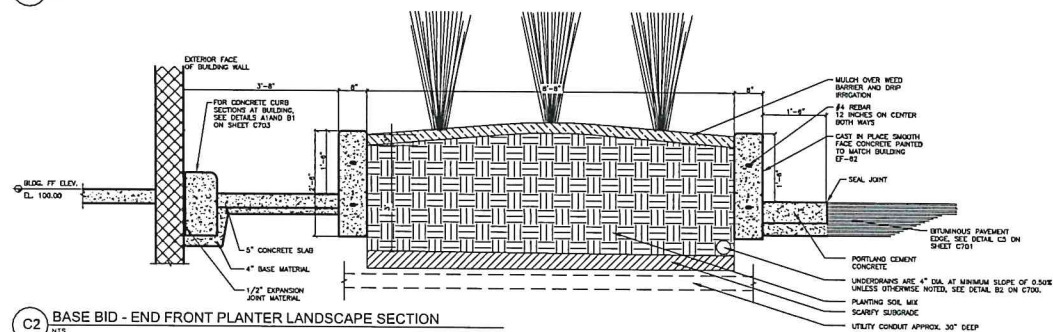
**B1 GRASS SEED SCHEDULE**

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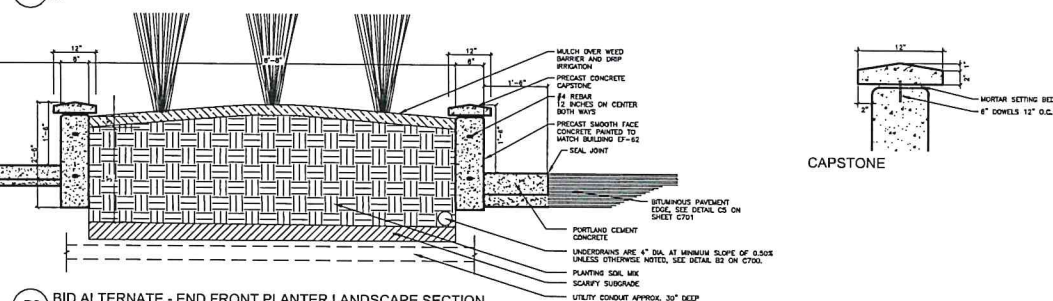
**A1 PLANTING SCHEDULE**



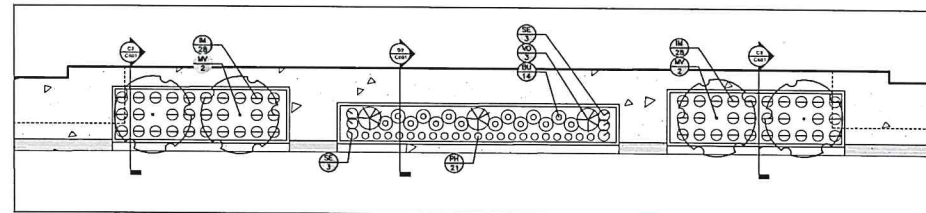
**D3 CENTER FRONT PLANTER LANDSCAPE SECTION**



C2 BASE BID - END FRONT PLANTER LANDSCAPE SECTION



**B2** BID ALTERNATE - END FRONT PLANTER LANDSCAPE SECTION



**A2 CENTER FRONT LANDSCAPE ENLARGEMENT**



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(616) 951-3344

[illegible]

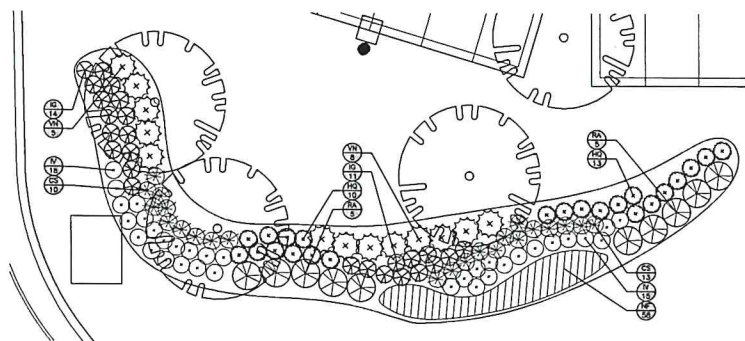
MEIJER STORE GGL AT GEAUGA LAKE DISTRICT  
AURORA ROAD (S.R. 43)  
BAINBRIDGE TOWNSHIP, GEAUGA COUNTY, OHIO 44202

LANDSCAPE DETAILS  
PRELIMINARY DEVELOPMENT PLANS

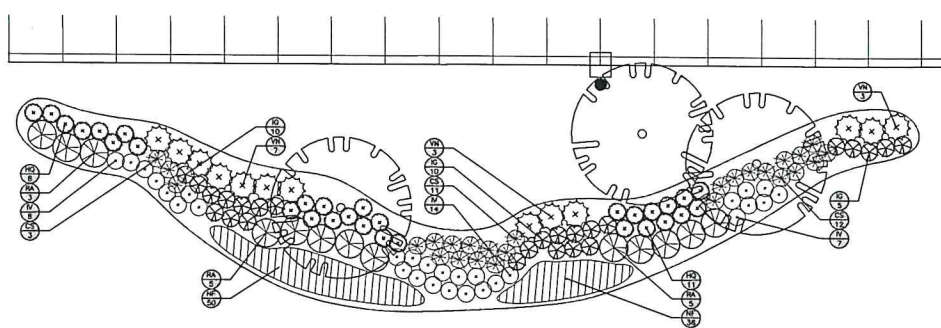
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RECORD	
PROJECT MANAGER	DATE

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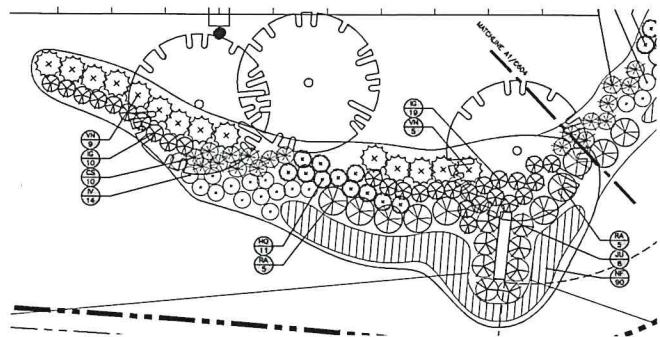
C601



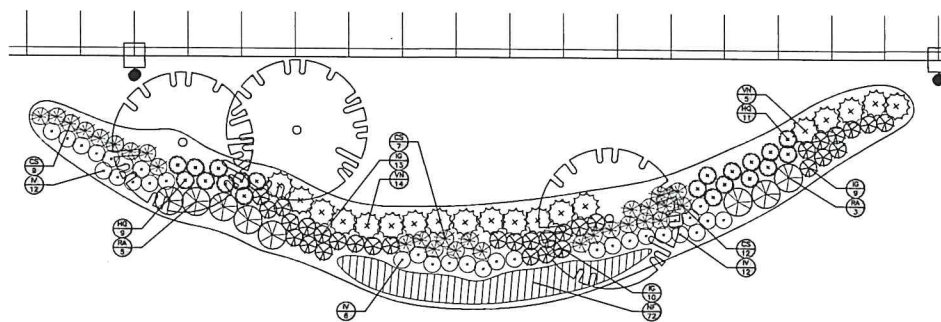
**C1 NORTH FRONT LANDSCAPE ENLARGEMENT**



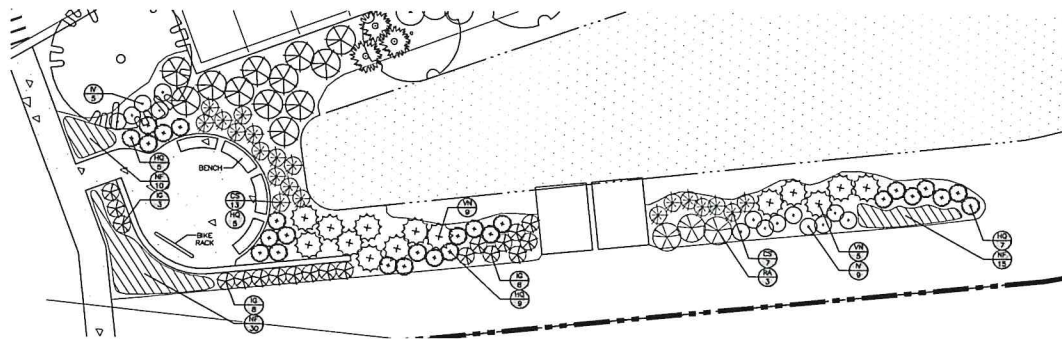
**C3 SOUTH CENTER FRONT LANDSCAPE ENLARGEMENT**



**B1 SOUTH FRONT LANDSCAPE ENLARGEMENT**  
1" = 10'



**B3 NORTH CENTER FRONT LANDSCAPE ENLARGEMENT**



**A1 BIG DIPPER RD MONUMENT SIGN LANDSCAPE ENLARGEMENT**

**meijer**

2929 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

[illegible]

**MEIJER STORE GGL AT GEAUGA LAKE DISTRICT**  
AURORA ROAD (S.R. 43)  
BAINBRIDGE TOWNSHIP, GEAUGA COUNTY, OHIO 44202

LANDSCAPE DETAILS

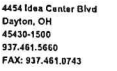
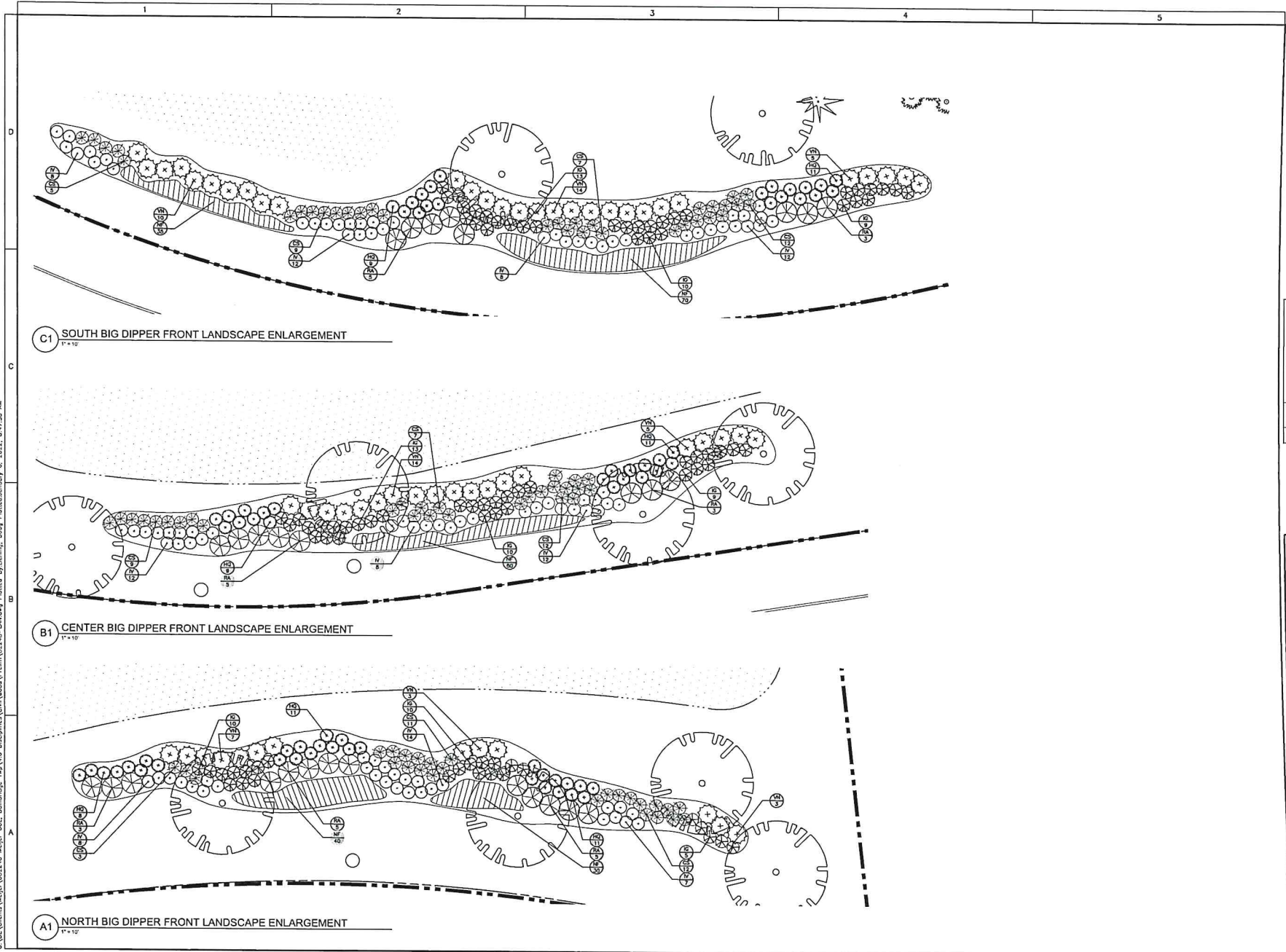
## PRELIMINARY DEVELOPMENT PLANS

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PROJECT MANAGER	DESIGNER

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82248

C602





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GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

[illegible]

LANDSCAPE DETAILS

PRELIMINARY DEVELOPMENT PLANS

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PERMIT	
BID	
CONSTRUCTION	
RECORD	
PROJECT MANAGER	DESIGNER

JOB NO.
82248

C603
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**meijer**  
2929 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544  
(616) 473-0734

[illegible]

**MEIJER STORE GGL AT GEauga LAKE DISTRICT**  
**AURORA ROAD (S.R. 43)**  
**BAINBRIDGE TOWNSHIP, GEauga COUNTY, OHIO 44202**

LANDSCAPE DETAILS  
PRELIMINARY DEVELOPMENT PLANS

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BID	
CONSTRUCTION	
RECORD	

PROJECT MANAGER	DESIGNER

JOB NO.  
82248

C604







ZONING INSPECTOR

TO: Bainbridge Township Board of Trustees  
FROM: Steven Averill, Zoning Inspector  
REF: Meijer - Preliminary Development Plan  
DATE: January 24, 2022

The Bainbridge Township Zoning Department Staff has completed its review, pursuant to the Geauga Lake Design Guidelines, of Meijer's Preliminary Development Plan (revised PDP received January 10, 2022) and recommends approval subject to the following modifications and conditions.

Page C001

1. Remove the reference to "North" Aurora Road. In addition, since there has been no address given to the proposed parcel at this time, 7300 should also be removed. These comments apply to all plan sheets.

Page C200

1. Although it may be premature at this time, a legal description with lot line dimensions based thereon are to be provided (per Design Guidelines - pg. 15)
2. There is no water feature shown between the mound and lot line along SR 43. Confirm the mound shall be a minimum of 3' and maximum of 8' (per Design Guidelines - pg. 15 and 169)
3. Delineate open/green space with dimensions and lot coverage (per Design Guidelines - pg. 15)
4. Provide a conceptual plan highlighting the history and architecture of Geauga Lake (per Design Guidelines - pg. 15)
5. Parking spaces encroach into 30' buffer area from Big Dipper Road (per Design Guidelines - pg. 169) Note: There was reference ~~was~~ made in the January 6, 2022 Woolpert letter that the encroachment was "left in place" based on "discussion" with unidentified township planning consultants. Zoning Department staff is not aware of this discussion.

#### Page C501

1. Provide decorative light poles between the parking area and SR 43. The poles are to be 20' - 40' apart, alternating with trees (per Design Guidelines - pg. 171). Additional information in regards to exterior lighting fixture design to be provided at FDP stage per the Design Guidelines.
2. Signage plan subject to further review at FDP stage (per Design Guidelines pg. 22 and pg. 166 and the Bainbridge Twp. Zoning Resolution. Additional information may be needed; for example, sign cabinetry and landscaping treatment at base of monument signs.

#### Page C600

1. The trees along SR 43 are to be 30' - 40' apart (per Design Guidelines - pg. 170). Note: Woolpert letter dated January 6, 2022 refers to "discussion" with unidentified township planning consultants. Zoning Department staff is not aware of this discussion.
2. Show the easement reserved for additional Geauga Lake amenities/nostalgia items near the intersection of SR 43 and Big Dipper Road (per Design Guidelines - pg. 15). Note: To be coordinated with ICP.
3. Provide material legend on all landscaping cut-sheets.

#### Page C801

1. Confirm compliance with lighting design criteria and cut-off requirements (per Design Guidelines - pgs. 143, 144, and 171).

#### Architectural Rendering (Elevations):

1. Provide uninterrupted horizontal building dimension (per Design Guidelines - pg. 174).
2. Provide building length dimensions (per Design Guidelines - pg. 175). Note: Woolpert letter dated January 6, 2022 refers to undocumented "discussion with township" that proposed building length is acceptable. The Zoning Department staff is not aware of this discussion.
3. Provide the overall building heights (per Design Guidelines - pg. 175).
4. Provide the entry way projection dimension (per Design Guidelines - pg. 175).
5. Provide material samples (per Design Guidelines - pg. 16).
6. Provide full size "to scale" cut-sheets.

#### Other items

1. No comments have been received from the Bainbridge Police or Service Department, or ODOT, as of December 6, 2021.
2. No further comments have been received from Geauga SWCD beyond those made at November 2, 2021 informal review meeting.
3. Developer submittal of Preliminary Development Plan to Board of Trustees for review/action required (per Design Guidelines - pg. 14).
4. Provide dumpster location including elevations as to concealment (per Design Guidelines - pg. 15).
5. Provide engineering stamp on all necessary plan sheets (per Design Guidelines - pg. 16).
6. Architectural plan submittal, with ARC review, in connection with FDP submittal required (per Design Guidelines - pg. 17-18).

Conditions to Meijer Preliminary Plan Approval

BOT Meeting 1/24/2022

- Preliminary and Final plan review is subject to architectural, landscape and civil considerations:
  - Referenced plan sheet A201 - GGL MS Rendering 1/5/22 (Bergmann). Note: The building will be seen from all four sides and aesthetics should be addressed on all four sides of the building. Building elevations and design should attempt to conform with the Design Guidelines.
  - Also referenced plan sheet C600 - GGL Landscape Render 1/5/2022 (Woolpert). Note: There was no plant legend provided indicating size, species, quantity, etc. of plants used. Planting design needs to conform to the Design Guidelines.
- Material palette to be provided for siding, paint colors, trim, roof material.
- Pedestrian access along Big Dipper connecting Meijer to the residential/lake side of the district needs to be developed, which may occur on Meijer property. Also, crosswalk location TBD.
- Significant grade change is occurring from the “north to south” length along SR 43...approximately 10' of ht. from SR 43 at Big Dipper to Meijer Parking lot 2' of ht. at joint entry road.
- Meijer indicates that fill is coming from offsite so SWPPP BMPs and road conditions need to be monitored for damage and cleanliness.
- The Meijer monument sign shall be relocated from as-shown near the intersection to the middle of their SR 43 frontage to allow for a district sign at the intersection.
- Subject to concept plan highlighting nostalgia elements provided by Meijer.
- Storage of delivered items (pallets, landscape material, etc.) shall be identified and further discussed.
- There will not be a dedicated propane refill station, but they may merchandise refilled propane tanks.
- Meijer will provide hourly cart retrieval to keep carts from being scattered and unsightly.
- Interest by the BOT for a continuation of the water feature theme that is in front of Menards while recognizing grading and spatial issues.
- BOT inquired about Meijer's parking requirements...387 spaces is the absolute minimum and 400 is ideal.
- Meijers has a fulltime asset protection officer along with fulltime greeters at each entrance.
- There will be a screened dumpster location for cardboard and organics.
- The BOT noted the overall goals in the Design Guidelines:

- Walkable and integrated;
  - Unified architectural design;
  - Nostalgic contributions.
- It was indicated that Zoning has three phases of the review process (inc. fees) at the Preliminary Development Plan (PDP), PDP + Architectural, and Final Development Plan (FDP) reviews. Process for review is:
    - Pre-Application meeting w/BOT, Staff with informal comments offered at meeting;
    - PDP Review:
      - Submittal to ICP for review and comparison with Design Guidelines;
      - Submittal to Zoning Dept. with completed application and fee;
      - Zoning solicits comments and provides report to BOT w/recommendation for approval, disapproval, modifications, or additional info.
    - PGP + Architectural Review:
      - Submittal to ICP for review and comparison with Design Guidelines;
      - Submittal to Zoning with fee;
      - Zoning solicits comments and provides report to BOT to approve, approve conditionally or deny.
    - Final Development Plan (FDP) Review:
      - Submittal to ICP for review and comparison with Design Guidelines;
      - Submittal to Zoning with fee;
      - Zoning solicits comments and provides report to BOT to approve, approve conditionally or deny.